

El Sobrante Municipal Advisory Council

MEETING AGENDA

Wednesday, March 8th, 2023, 7:00 PM

Meeting Location: El Sobrante Library (4300 Garden Rd. El Sobrante) or Zoom:

<https://cccouny-us.zoom.us/j/88118248226>

PUBLIC ACCESS AND PUBLIC COMMENT INSTRUCTIONS:

The public may attend this meeting in person at the above location.

The public also may attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below.

HOW TO JOIN THE MEETING VIA ZOOM:

Link: <https://cccouny-us.zoom.us/j/88118248226>

HOW TO JOIN THE MEETING VIA CALL-IN:

Zoom meeting Dial-In-Number: 888 278 0254

Conference code: 545286

Meeting ID: 881 1824 8226

HOW TO PROVIDE PUBLIC COMMENT:

Persons who wish to address the El Sobrante Municipal Advisory Council (ESMAC) during public comment on matters within the jurisdiction of the ESMAC that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should speak when called upon. Those participating via Zoom should indicate they wish to speak by using the “raise your hand” feature in the Zoom app. Those calling in should indicate they wish to speak by saying their name when asked if anyone calling in has questions.

All public comments will be limited to 2 minutes per speaker.

For assistance with remote access contact: Edgar Rosales at Edgar.Rosales@bos.cccouny.us or 510-942-2222

Public comments may also be submitted before the meeting by email at Edgar.Rosales@bos.cccouny.us or by voicemail at 510-942-2222. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

Chair: Thomas Lang; **Vice Chair:** George Cleveland

Members: Susan Boudreau, Jim Hermann, Dr. Melinda V. McLain, Mikki Norris, Tom Owens

Alternates: Shirley Rosenthal-Winston, Emilie Whelan

Electronic copies of the agenda are available for download at:

<https://www.contracosta.ca.gov/AgendaCenter/El-Sobrante-Municipal-Advisory-Council-50/?#02132019-1994>

Call to Order/Welcome/Roll Call

Treasurer's Report – Edgar Rosales, District Coordinator, Office of Supervisor John Gioia

Approval of Minutes

A.M.1. Approve minutes of December.

Presentations

P.1. Presentation by Supervisor John Gioia on county updates

P.2 Presentation by Contra Costa County Fire Protection District

P.3. Presentation by Sheriff's Office Bay Station Commander, Lt. Mark Rodriguez

P.4. Presentation by California Highway Patrol (tentative)

Discussion Items: DI. Development plan applications, variance reports, building modification requests, appeals etc., received in the previous month from the Contra Costa County Conservation and Development Department and Notices of Public Hearings.

D.1. REVISED County File Number: CDLP22-02049 (Address: 216 Sobrante Ave, El Sobrante, Ca 94803). Request approval of a Land Use Permit application to modify and/or remove certain conditions of approval for Land Use Permit CDLP14-02052 for the operational restaurant Up and Under 2nd Pitch. Memo attachment on requested changes.

D.2. County File Number: CDDP23-03005 (Address: 5029 SAN PABLO DAM RD, EL SOBRANTE, CA 948033342). Development Plan to allow a non-substantial, exterior change to the existing residence for the construction of new upper and lower decks with new posts/piers in concrete and aluminum railings. The project utilizes the existing footprint of existing decks and expands the total area of both decks by approximately 93 square feet.

Information Items

10.1 Information Reports by MAC members.

Subcommittee Reports

11.1 Regular litter cleanups are held on the third Saturday of each month from 10 AM to Noon. Meet at the El Sobrante Library, 4191 Appian Way, to sign in, borrow equipment (if needed), and find a designated area to clean with others in the 94803 area. Mikki Norris is the contact: mikkinorris@comcast.net

Agenda Items / Speakers for Upcoming ESMAC Meetings

A.1. EBMUD on Budget and Rates presentation (May 10th).

Public Comment on items not on the agenda (2 minutes per speaker limit)

Adjournment

SUMMARY OF ISSUES FOR UP AND UNDER: 2nd PITCH
5216 Sobrante Ave., El Sobrante
For Consideration at March 8, 2023 El Sobrante MAC Meeting

1. Whether to Continue to Limit the Number of Special Events Per Calendar Year

The existing Conditions of Approval (COA) limit the number of “special events” per calendar year to 20. The owner seeks to eliminate this condition since he believes it limits his ability to hold special events like trivia nights and fundraisers. An alternative would be to set a different (higher number) maximum number of special events per year and/or to amend the definition of a special event. The owner is also seeking to eliminate the following conditions: (1) that the number of attendees allowed during special events shall be limited based on available off-street parking, and (2) that they mail a notice to all residents within 300 feet before the special event and to notify them of the date, duration and nature of the event.

Special Events are defined in the County Zoning Administrator’s 9/19/22 Compliance Review as: “An indoor or outdoor occasion held at the subject property that is organized for a particular time, and that involves an activity not associated with the typical daily food and beverage services of a sports bar, pub & grill, or full-service restaurant establishment. An event is an occasion that is advertised to the general public or a specific group of people, and that would likely result in an increased patronage of the facility during the identified time period. For the subject facility, events include those listed in COA#20 (community meetings, Rotary Club, Chamber of Commerce, First Responders) as well as trivia nights, fundraisers arts and crafts shows, and other events wherein a portion of the facility is rented by a private party. Activities that would not constitute a special event are activities such as, but not limited to, having a Taco Tuesday food special every week or showing Warriors/Giants/A’s/49ers sporting events or the Super Bowl during normal business hours. These activities are consistent with the daily operation of a restaurant or sports bar (pub), which is the use that was approved under the current land use permit.”

2. Whether to Allow the Restaurant/Pub to Convert a Portion of the Existing Parking Area into a Covered Outdoor Patio and Dining Area with Alcohol Service for On-site Consumption

The owner wishes to convert some of its parking area into an outdoor patio/dining area where alcohol is served. The existing County permit would allow serving alcohol at outdoor dining areas but the owner may need an amendment to his California ABC permit to do so. The County would not allow the restaurant/pub to sell alcohol for off-site consumption. The County recently approved (11/21/22) a 522 square foot outdoor patio/dining deck for the nearby Los Cerros Mexican Grill. This area eliminated 3 parking spaces but the available parking spaces still exceeds the required number of parking spaces. Impact on parking and neighbors are issues to be considered.

3. **Whether to Allow the Restaurant/Pub to Construct/Operate an Outdoor Cooking Area Consisting of a Smoker and Pizza Oven**

The owner wishes to construct and regularly operate a smoker and pizza oven in an outdoor area on the property. There have been some complaints by nearby neighbors about prior use of a smoker/bbq on the site.

4. **Whether to Eliminate the Requirement that Exterior Doors Shall be Kept Closed**

The owner acknowledges the need to keep the exterior doors closed during live music or when there is amplified sound but wants to be able to occasionally keep the doors open at other times.

5. **Other Changes Previously Sought by Pub/Restaurant But No Longer at Issue**

The owner is no longer seeking to change the following conditions:

- (1) Trash and Litter Requirements
- (2) Midnight Closure of the Establishment
- (3) Maintaining a Log of Special Events
- (4) Prohibition of Off-Sale Alcohol Sales (no sales for off-site consumption)



AGENCY COMMENT REQUEST

Date _____

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><u>DISTRIBUTION</u></p> <p><u>INTERNAL</u></p> <p> <input type="checkbox"/> Building Inspection <input type="checkbox"/> Grading Inspection <input type="checkbox"/> Advance Planning <input type="checkbox"/> Housing Programs <input type="checkbox"/> Trans. Planning <input type="checkbox"/> Telecom Planner <input type="checkbox"/> ALUC Staff <input type="checkbox"/> HCP/NCCP Staff <input type="checkbox"/> APC PW Staff <input type="checkbox"/> County Geologist </p> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <p><input type="checkbox"/> Environmental Health <input type="checkbox"/> Hazardous Materials</p> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <p> <input type="checkbox"/> Engineering Services (1 Full-size + 3 email Contacts) <input type="checkbox"/> Traffic <input type="checkbox"/> Flood Control (Full-size) <input type="checkbox"/> Special Districts </p> <p><u>LOCAL</u></p> <p> <input type="checkbox"/> Fire District _____ <input type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov <input type="checkbox"/> Consolidated – (email) fire@cccfdp.org <input type="checkbox"/> East CCC – (email) brodriguez@cccfdp.org <input type="checkbox"/> Sanitary District _____ <input type="checkbox"/> Water District _____ <input type="checkbox"/> City of _____ <input type="checkbox"/> School District(s) _____ <input type="checkbox"/> LAFCO <input type="checkbox"/> Reclamation District # _____ <input type="checkbox"/> East Bay Regional Park District <input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD <input type="checkbox"/> MAC/TAC _____ <input type="checkbox"/> Improvement/Community Association <input type="checkbox"/> CC Mosquito & Vector Control Dist (email) </p> <p><u>OTHERS/NON-LOCAL</u></p> <p> <input type="checkbox"/> CHRIS (email only: nwic@sonoma.edu) <input type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta <input type="checkbox"/> Native American Tribes </p> <p><u>ADDITIONAL RECIPIENTS</u></p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <p> <input type="checkbox"/> Active Fault Zone (Alquist-Priolo) <input type="checkbox"/> Flood Hazard Area, Panel # _____ <input type="checkbox"/> 60-dBA Noise Control <input type="checkbox"/> CA EPA Hazardous Waste Site High or Very High FHSZ </p> <p style="text-align: center;">* * * * *</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None <input type="checkbox"/> Below <input type="checkbox"/> Attached</p> <p> </p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDDP23-03005

File Date: 2/13/2023

Applicant:

Eric Willett
5029 San Pablo Dam Rd Apartment D
El Sobrante, CA 94803

fikus222@gmail.com
(510) 326-4306

Property Owner:

ERIC MICHAEL WILLETT
5029 SAN PABLO DAM RD D
EL SOBRANTE, CA 94803

fikus222@gmail.com
(510) 326-4306

Project Description:

Development Plan to allow a non-substantial, exterior change to the existing residence for the construction of new upper and lower decks with new posts/piers in concrete and aluminum railings. The project utilizes the existing footprint of existing decks and expands the total area of both decks by approximately 93 square feet.

Project Location: (Address: 5029 SAN PABLO DAM RD, EL SOBRANTE, CA 948033342), (APN: 431310002)

Additional APNs:

General Plan Designation(s): MH

Zoning District(s): M-29

Flood Hazard Areas: X

AP Fault Zone: No

60-dBA Noise Control: Yes

MAC/TAC: El Sobrante MAC

Sphere of Influence: Richmond

Fire District: CONSOLIDATED FIRE

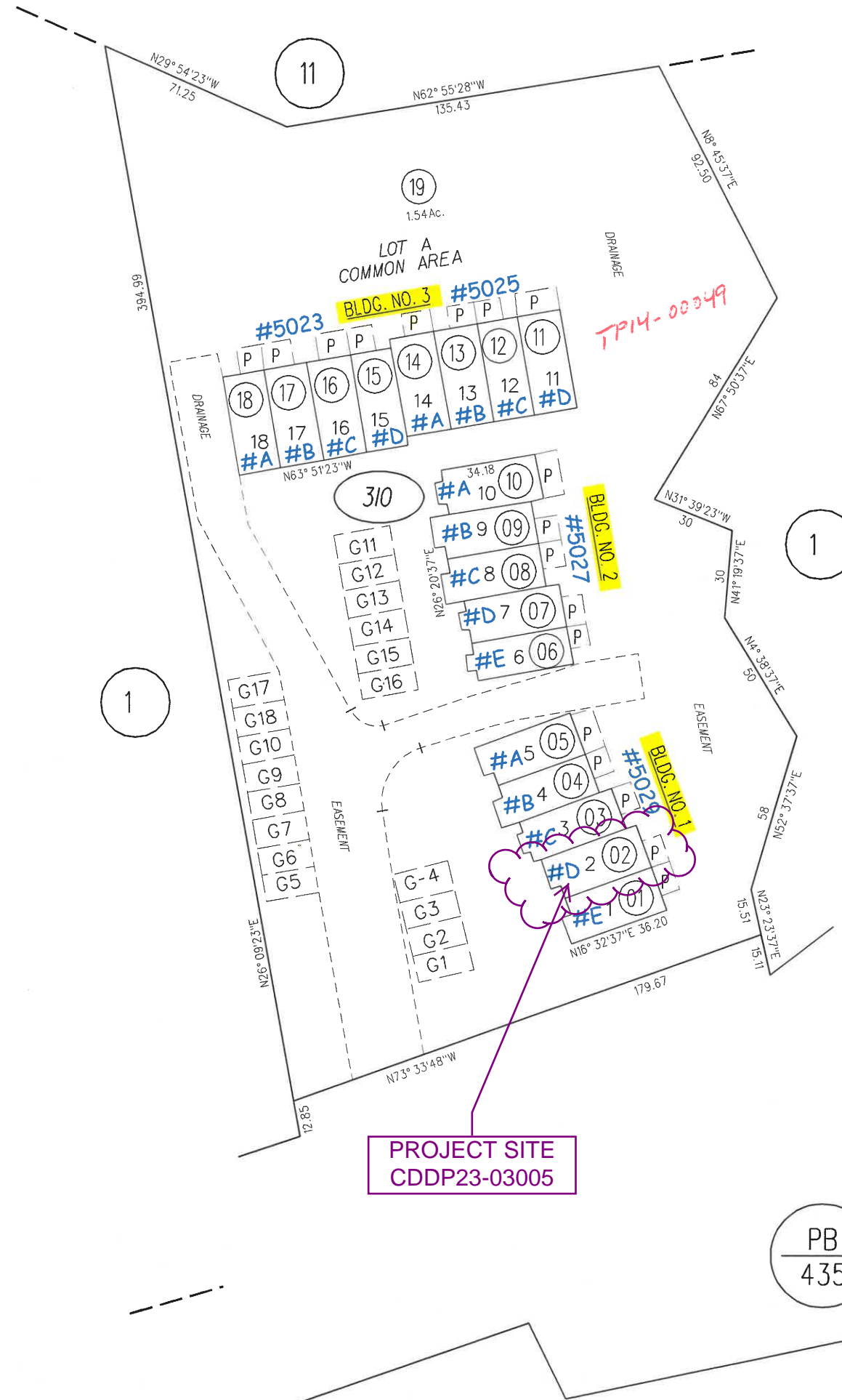
Sanitary District: WEST CO WASTEWATER

Housing Inventory Site: No

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
066A	Late Filing Penalty	002606-9660-REV-000-5B066A	750.00	750.00
DP016A	Dev Plan Minor Modification (Administrative)	002606-9660-REV-000-5B016A	1500.00	1500.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
Total:			2337.00	2337.00

CT.3602.00
**FZC
0250B



See page ① of this
book for project numbers
201-70
194-72
LP76-2195
2300
PD73-0071

RD.FEES



PROJECT SITE
CDDP23-03005

PB
435

310

ZM: J-6

1-7-75 FM 431-1

ASSESSOR'S MAP

BOOK 431 PAGE 31

CONTRA COSTA COUNTY, CALIF.
Downloaded on March 21, 2008

LOT 24 & 25 RANCHO EL SOBRANTE

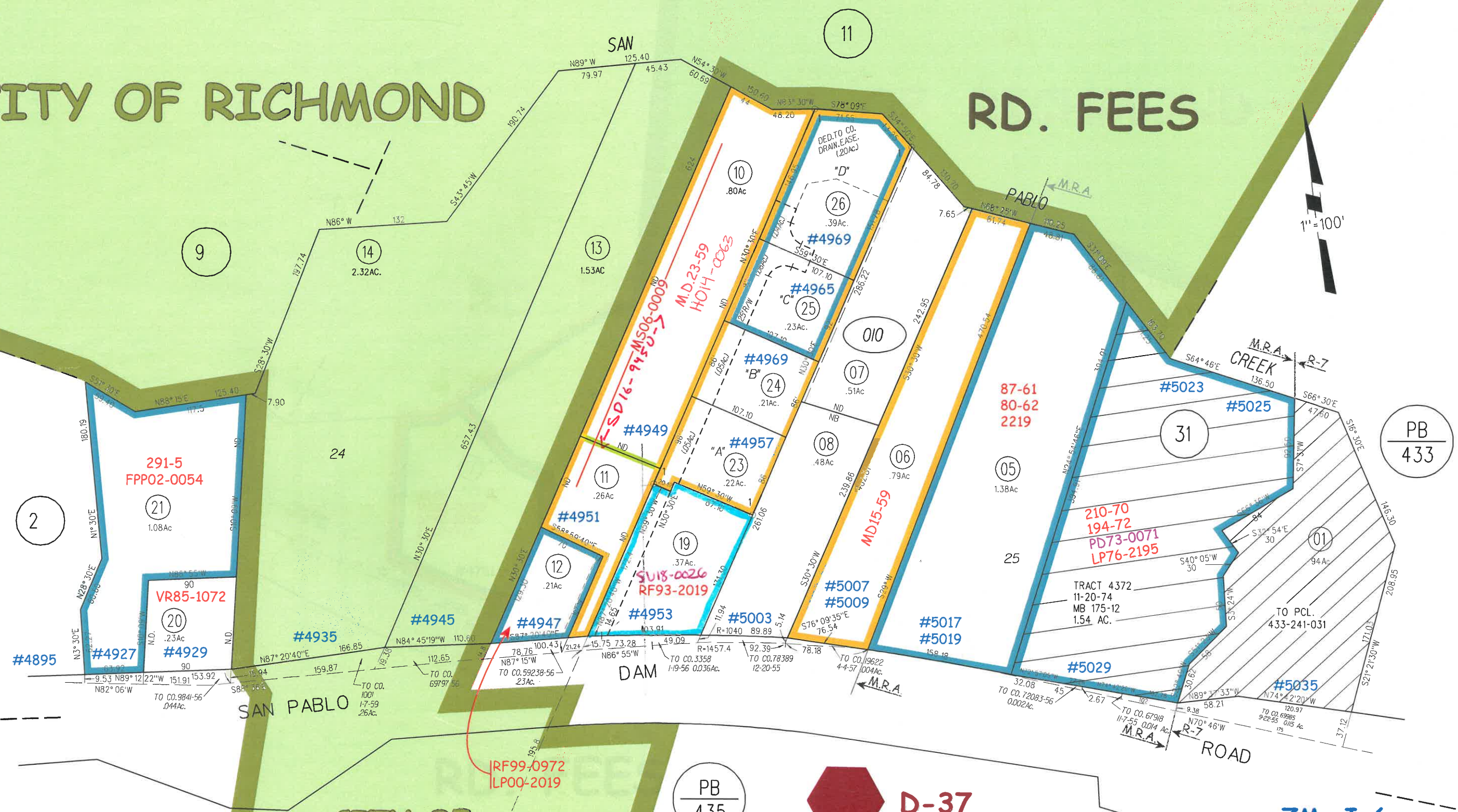
1- 51P.M.38 1-20-77 MS75-0123/PD75-0306

TAX CODE AREA

CT.3602.00

CITY OF RICHMOND

RD. FEES



CITY OF RICHMOND

PB
435



D-37

OIO

ZM: J-6
II S.F.3-13
1961 ROLL

ASSESSOR'S MAP
BOOK 431 PAGE 01

General Plan: MH, Multiple-Family Residential - High Density



Legend

- Building Outlines
- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- General Plan
 - SV (Single Family Residential - Ver
 - SL (Single Family Residential - Low
 - SM (Single Family Residential - Me
 - SH (Single Family Residential - Hig
 - ML (Multiple Family Residential - Lc
 - MM (Multiple Family Residential - N
 - MH (Multiple Family Residential - H
 - MV (Multiple Family Residential - V
 - MS (Multiple Family Residential - V
 - CC (Congregate Care/Senior Housi
 - MO (Mobile Home)
 - M-1 (Parker Avenue Mixed Use)
 - M-2 (Downtown/Waterfront Rodeo I
 - M-3 (Pleasant Hill BART Mixed Use
 - M-4 (Willow Pass Road Mixed Use)
 - M-5 (Willow Pass Road Commercia
 - M-6 (Bay Point Residential Mixed U
 - M-7 (Pittsburg/Bay Point BART Sta
 - M-8 (Dougherty Valley Village Cent
 - M-9 (Montalvin Manor Mixed Use)
 - M-10 (Willow Pass Business Park M
 - M-11 (Appian Way Mixed Use)
 - M-12 (Triangle Area Mixed Use)
 - M-13 (San Pablo Dam Road Mixed
 - M-14 (Heritage Mixed Use)
 - CO (Commercial)
 - OF (Office)
 - BP (Business Park)
 - LI (Light Industry)
 - HI (Heavy Industry)
 - AL, OIBA (Agricultural Lands & Off
 - CR (Commercial Recreation)

1: 564



Notes

Contra Costa County -DOIT GIS



0.0 0 0.01 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Legend

- Building Outlines
- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Zoning
 - R-6 (Single Family Residential)
 - R-6, -FH -UE (Flood Hazard and A
 - R-6 -SD-1 (Slope Density Hillside I
 - R-6 -TOV -K (Tree Obstruction anc
 - R-6, -UE (Urban Farm Animal Excl
 - R-6 -X (Railroad Corridor Combinir
 - R-7 (Single Family Residential)
 - R-7 -X (Railroad Corridor Combin
 - R-10 (Single Family Residential)
 - R-10, -UE (Urban Farm Animal Exc
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Urban Farm Animal Exc
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Flood Hazard and A
 - R-40, -UE (Urban Farm Animal Exc
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1 -T (Transitional Combining Dist
 - D-1, -UE (Urban Farm Animal Excl
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Flood Hazard Combining
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Recreational)
 - F-R -FH (Flood Hazard Combining I
 - F-1 (Water Recreational)
 - F-1 -FH (Flood Hazard Combining I
 - A-2 (General Agriculture)
 - A-2, -BS (Boat Storage Combining I

1: 564



Notes

Contra Costa County -DOIT GIS



0.0 0 0.01 0.0 Miles

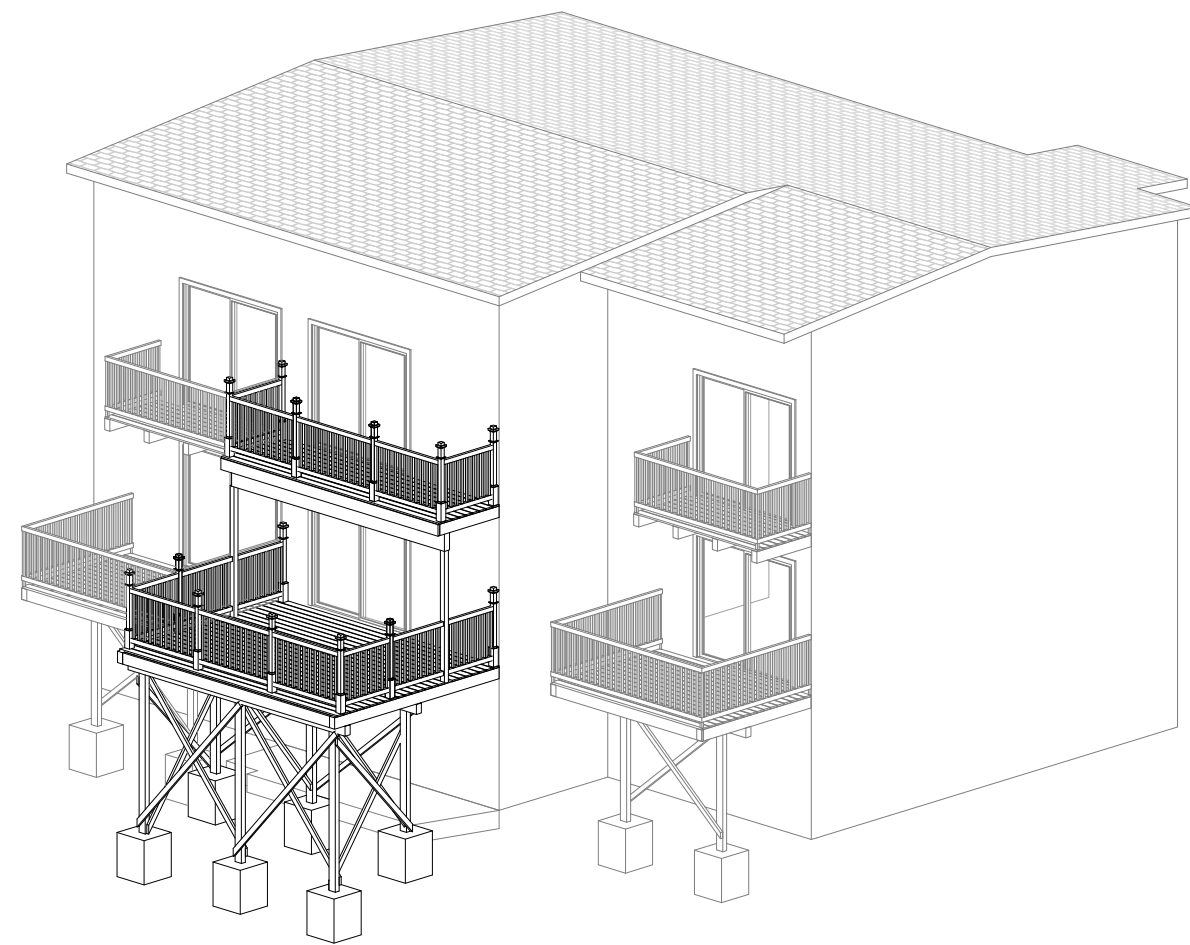
WGS_1984_Web_Mercator_Auxiliary_Sphere

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



- Legend
- Building Outlines
 - City Limits
 - Unincorporated
 - Highways
 - Highways Bay Area
 - Streets
 - Board of Supervisors' Districts
 - Water Bodies
 - County Boundary
 - Bay Area Counties
 - Assessor Parcels
- Aerials 2019
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3
- World Imagery
- Low Resolution 15m Imagery
 - High Resolution 60cm Imagery
 - High Resolution 30cm Imagery
 - Citations



RECEIVED on 02/13/2023 CDDP23-03005
By Contra Costa County
Department of Conservation and Development

DECK PROPOSAL

5029 SAN PABLO DAM RD, EL SOBRANTE, CA 94803

Unit D APN: 431-310-002-8

BAY AREA DESIGN
CONSULTANTS

DANIEL L. DELRIO
SAN LEANDRO, 94578
510.701.0100 Tel

BAD CONSULTANTS 2020

REVISION SCHEDULE		DATE
DESCRIPTION	NO.	
	1	
	2	
	3	

THESE DRAWINGS ARE
DRAWN BY BAY AREA
DESIGN AND ARE
APPROVED BY THE
RESPONSIBILITY OF
DANIEL L. DELRIO
AND THE SIGNATURE
BELOW IS EXCEPTION OF
PROPOSED SET OF
DRAWINGS

x *[Signature]*

DECK PROPOSAL
5029 SAN PABLO DAM RD, EL SOBRANTE, CA 94803
PROJECT:
SHEET TITLE:
COVER SHEET

REVIT FILE	SNP-22	JOB NO.	80-22
DESIGNER	D.D.	REVISION	
DRAWN BY	J.B.	DATE	10/18/22
CHECKED BY	D.D.	SCALE	NOTED

SHEET NO.

A0

1 OF 5 SHEET
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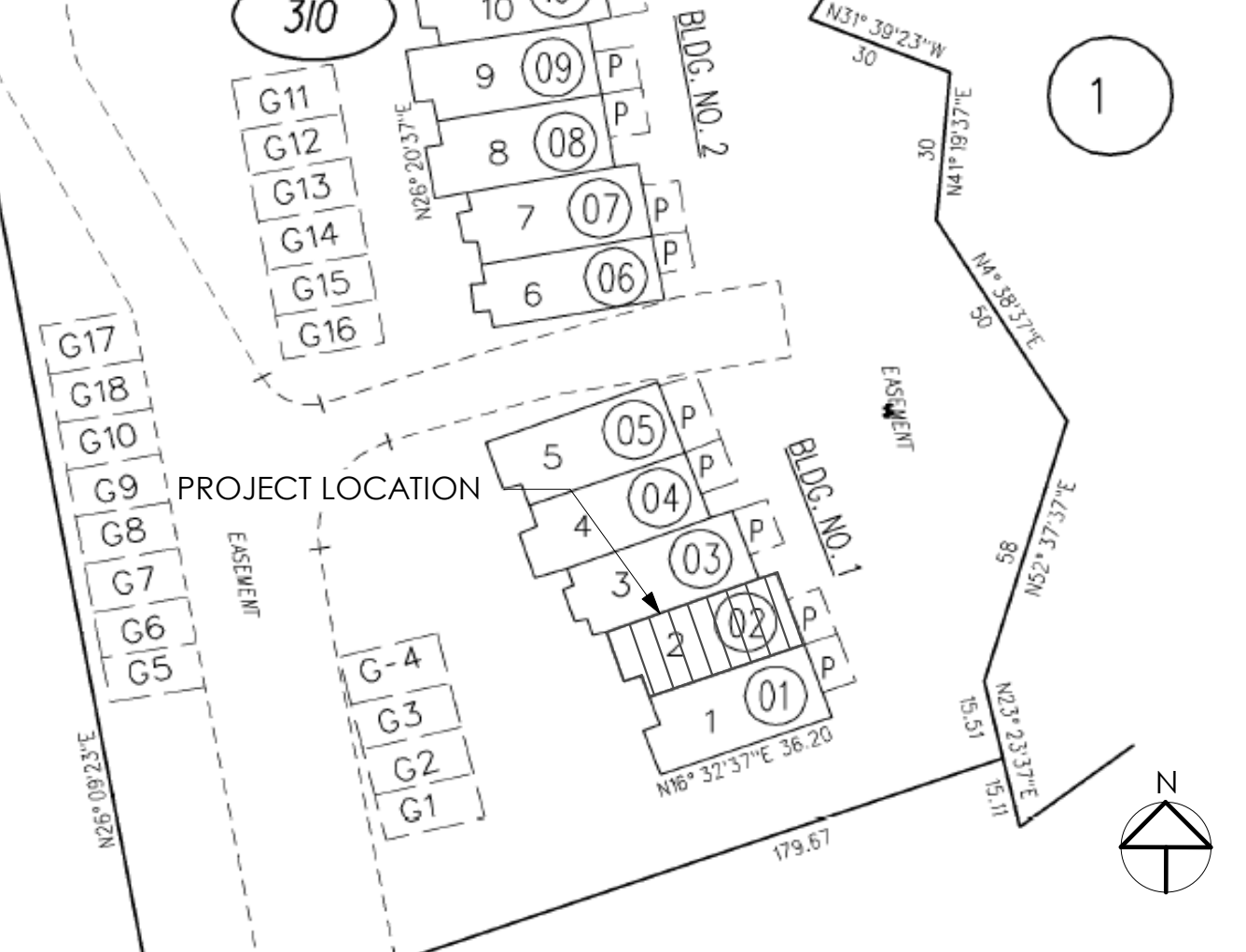
NOTES:

- THE DRAWINGS ARE TO A CERTAIN EXTEND DIAGRAMMATIC AND ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTEND OF THE WORK. FURNISH EVERYTHING NECESSARY FOR AND INCIDENTAL TO THE COMPLETION OF THE WORK READY FOR OCCUPANCY WHETHER OR NOT SPECIFICALLY SHOWN OR NOT.
- ALL ELECTRICAL, FIRE PROTECTION, MECHANICAL, PLUMBING AND STRUCTURAL WORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EACH FIELDS APPLICABLE CODES AND STANDARDS.
- CONSTRUCTION DRAWING NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS
- CONTRACTORS SHALL VERIFY LOCATION AND ACCEPTABILITY OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. ANY TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DISCREPANCY SHALL BE REPORTED TO DESIGNER IMMEDIATELY IN WRITING PRIOR TO COMMENCING WORK.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITION SHOWN ON THESE DRAWINGS. ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY IN WRITING PRIOR TO COMMENCING WORK.
- MATCH EXISTING FINISHES AS CLOSELY AS POSSIBLE UNLESS NOTED OTHERWISE. RESULTANT CONDITION OF PATCH AND REPAIRS TO BE LAKE NE
- WORK SHALL BE EXECUTED WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND OCCUPANTS OF ADJACENT AREAS. THE CONTRACTOR SHALL KEEP DIRT, DUST AND NOISE TO A MINIMUM AND PROVIDE DUST SHEETS AS REQUIRED AND DIRECTED. WORK SHALL BE SCHEDULED BY THE CONTRACTOR AND AGREED TO BY THE OWNER IN WRITING
- THE CONTRACTOR IS TO GRADE ANY AREAS WHERE THE ADDITION ALTERS THE DRAINAGE. PROVIDE SLOPE AWAY FROM STRUCTURES AND DRAIN TO STREET OR AN APPROVED STORM DRAIN
- ALL HABITABLE ROOMS, BOTH EXISTING AND NEW, SHALL HAVE COMFORT HEATING AT LEAST 70°F (21°C) AT A POINT 3'-0" ABOVE FLOOR.
- ALL DIMENSION ARE TO THE FACE OF THE STUD, UNLESS OTHERWISE NOTED.

ABBREVIATIONS:

A	AREA	FOS	FACE OF STUD	UON	UNLESS
A. B.	ANCHOR BOLT	FRM	FRAME		OTHERWISE
BD	BOARD	FTG	FOOTING		NOTED
BLDG	BUILDING				
BLK'G	BLOCKING	GYP BD	GYPGUM BOARD	VERT	VERTICAL
BOT	BOTTOM	HDR	HEADER	V.I.F.	VERIFY IN FIELD
		HORZ	HORIZONTAL	V.T.	VINYL TILE
CAB	CABINET	HR	HANDRAIL	W.	WEST
CEM	CEMENT	HT	HEIGHT	W/	WITH
CER	CERAMIC			WC	WALL COVERING
C.J.	CONSTRUCTION	INSUL	INSULATION	WD	WOOD
	JOINT	INT	INTERIOR	WIN	WINDOW
C.L.	CENTER LINE			W.O.	WHERE OCCURS
CLG	CEILING	MAT	MATERIAL	W/O	WITHOUT
CLR	CLEAR	MAX	MAXIMUM	WP	WATERPROOF
CMU	CEMENT	MECH	MECHANICAL		
	MASONRY UNIT	MIN	MINIMUM		
COL	COLUMN				
CONC	CONCRETE	N.	NORTH		
CONIN	CONNECTION	(N)	NEW		
CONT	CONTINUOUS	NIC	NOT IN		
C.P.	CEMENT		CONTRACT		
	PLASTER	N.T.S.	NOT TO SCALE		
CPT	CARPET				
CTR	CENTER	O.C.	ON CENTER		
		O.H.	OVERHANG		
DBL	DOUBLE	PT	PAINT		
DEF	DEFLECTION	PERIM	PERIMETER		
DET	DETAIL	PLAS	PLASTIC		
DR	DOOR	PLYWD	PLYWOOD		
DW	DISHWASHER				
DWG	DRAWING	RB	RUBBER BASE		
		REIN	REINFORCED		
E.	EAST	REQ	REQUIRED		
(E)	EXISTING	RM	ROOM		
EA	EACH	RWD	REDWOOD		
ELEC	ELECTRICAL				
ELEV	ELEVATION	S.	SOUTH/STAIN		
		SECT	SECTION		
EXP	EXPANSION	SHT	SHEET		
EXT	EXTERIOR	SIM	SIMILAR		
		SPECS	SPECIFICATIONS		
F.	FILLER	STD	STANDARD		
F.D.	FLOOR DRAIN	TYP	TYPICAL		
FIN	FINISH				
FL	FLOOR				

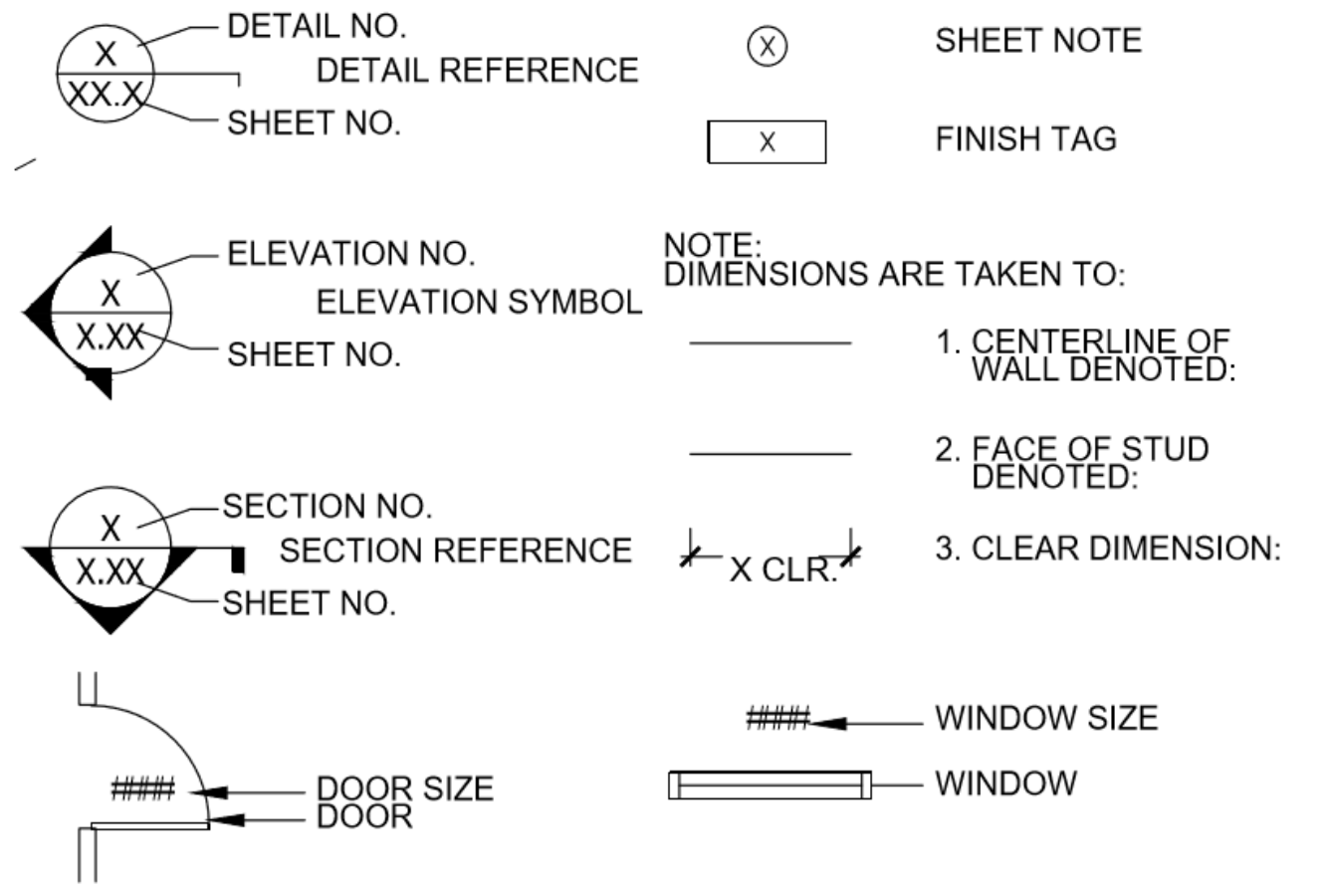
PROJECT LOCATION:



VICINITY MAP:



SYMBOLS:



SHEET INDEX:

A0	COVER SHEET
A0.2	(E) SITE PLAN
A0.3	(N) SITE PLAN
A1	(E) PLAN/DEMO PLAN/ELEVATIONS
A1.1	(N) PROPOSED FLOOR PLAN/ ELEVATIONS

APPLICABLE CODES:

CALIFORNIA FIRE CODE	2019 EDITION (CFC)
CALIFORNIA BUILDING CODE	2019 EDITION (CBC)
CALIFORNIA MECHANICAL CODE	2019 EDITION (CMC)
CALIFORNIA PLUMBING CODE	2019 EDITION (CPC)
CALIFORNIA ELECTRIC CODE	2019 EDITION (CEC)

ENERGY EFFICIENCY STANDARDS 2019 EDITION(TITLE24)

ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

PROJECT DATA:

LOT SIZE:	67,082 SF / 1.52 ACRES	[APN: 431-310-019]
LOT COVERAGE:	1.7 %	
(E) HOUSE:	1,132 SF	

TOTAL LIVABLE SPACE: 1,132 SF

CODE ANALYSIS:

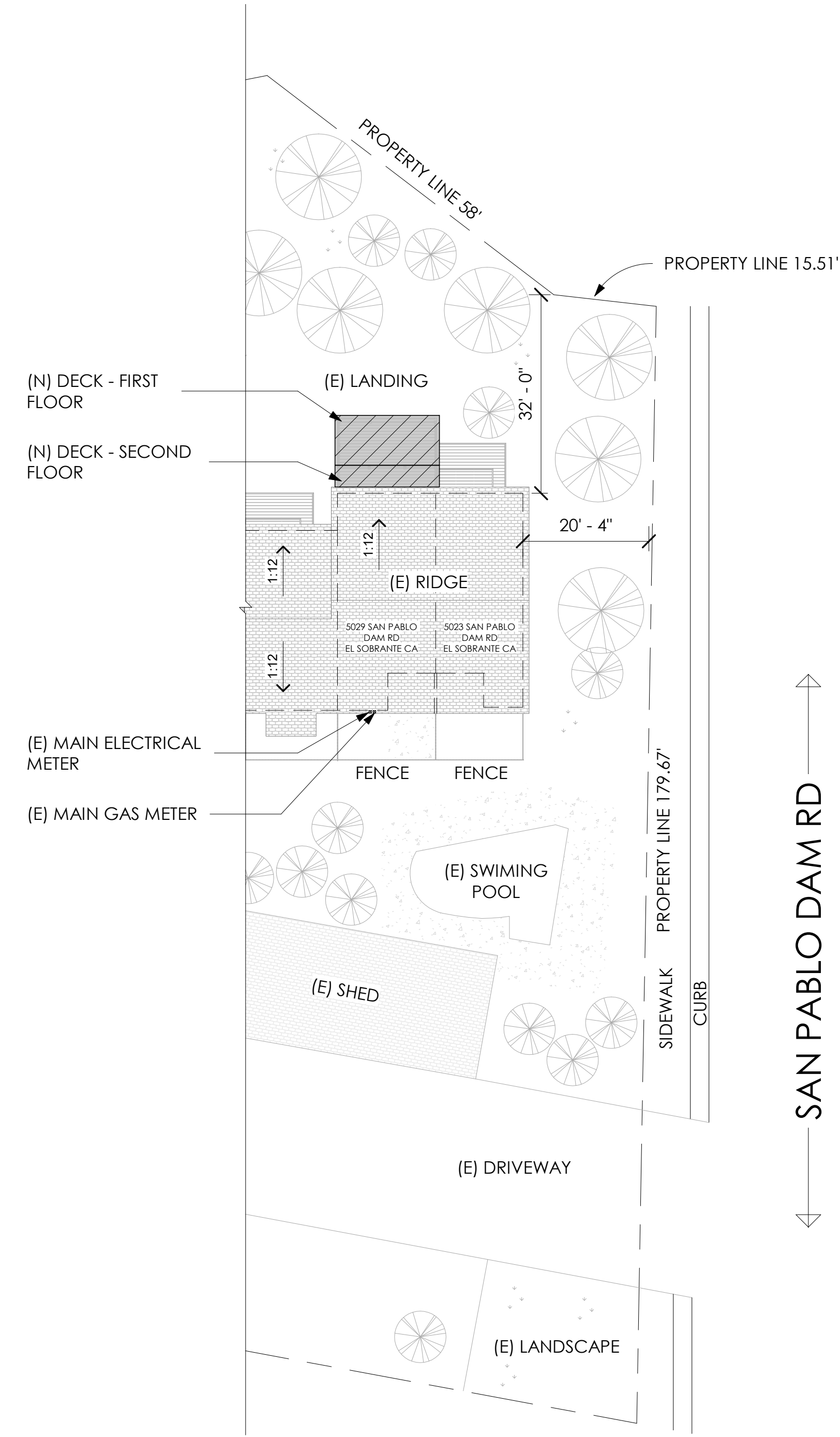
APN:	431-310-1
BUILDING TYPE:	RESIDENTIAL, CONDOMINIUM
CONSTRUCTION TYPE:	V-8
ZONING:	M-29
FIRE SPRINKLERS:	NO
YEAR BUILD:	1974

SCOPE OF WORK:

DECK 1ST. FLOOR
-UTILIZING FOOT PRINT BUT EXTENDING THE DECK ADDITIONAL 4'
RE-FORCING DECK WITH 6 ADDITIONAL POSTS ON CONCRETE
- INSTALLATION OF COMPOSITE DECKING
- INSTALLATION OF ALUMINIUM RAILING
DECK 2ND FLOOR
-UTILIZING FOOT PRINT BUT EXTENDING THE DECK ADDITIONAL 4'
RE-FORCING DECK WITH 2 POSTS ON CONCRETE
- INSTALLATION OF COMPOSITE DECKING
- INSTALLATION OF ALUMINIUM RAILING

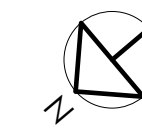
PROJECT DIRECTORY:

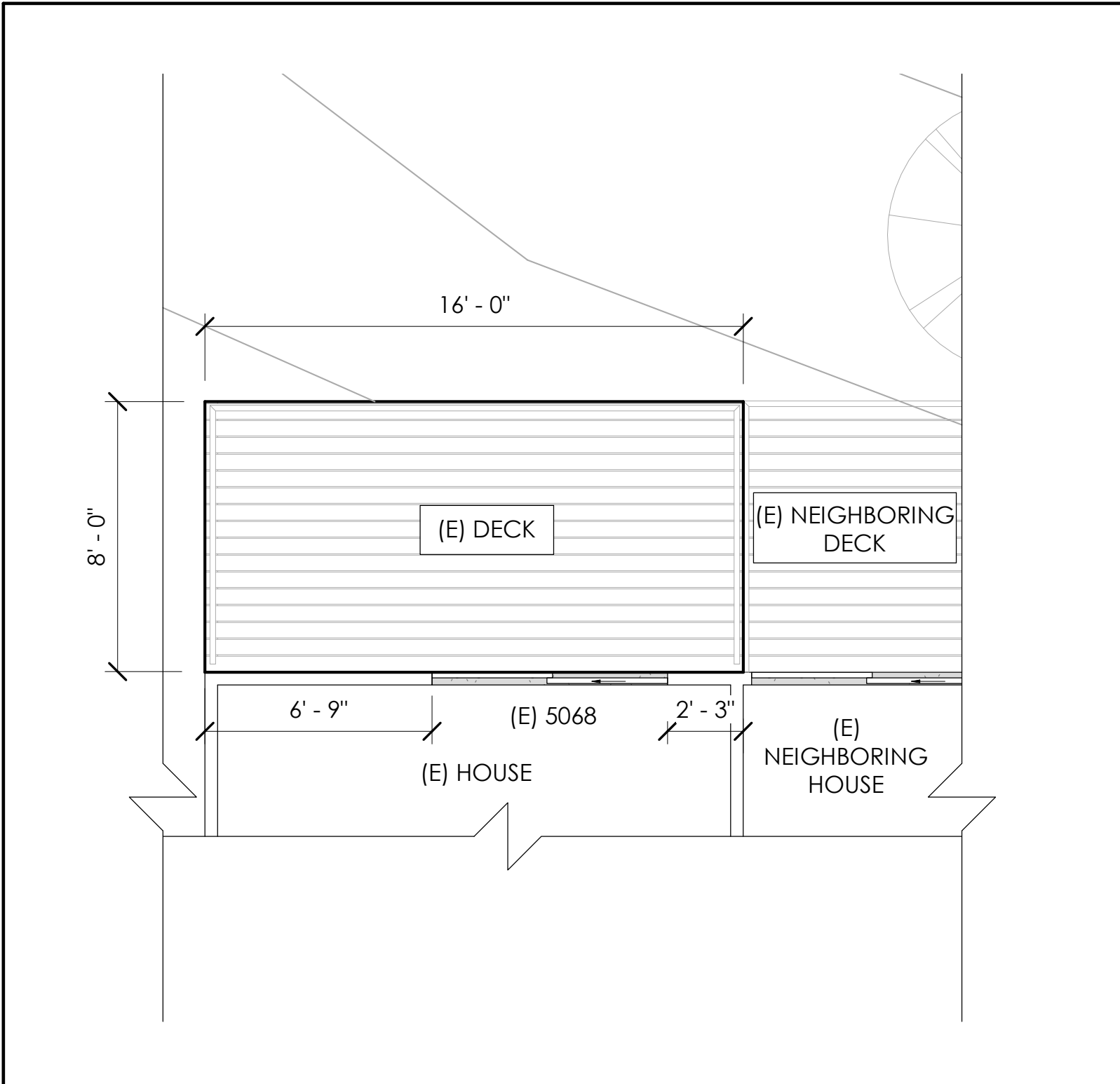
DESIGNER:	OWNER:	CONTRACTOR/ TITLE 24:
DANIEL DEL RIO 2096 MERCED ST SAN LEANDRO, CA 510.701.0100	ANNA BRECKENRIDGE 5029 SAN PABLO DAM RD EL SOBRANTE, CA 94803 650.380.9719	



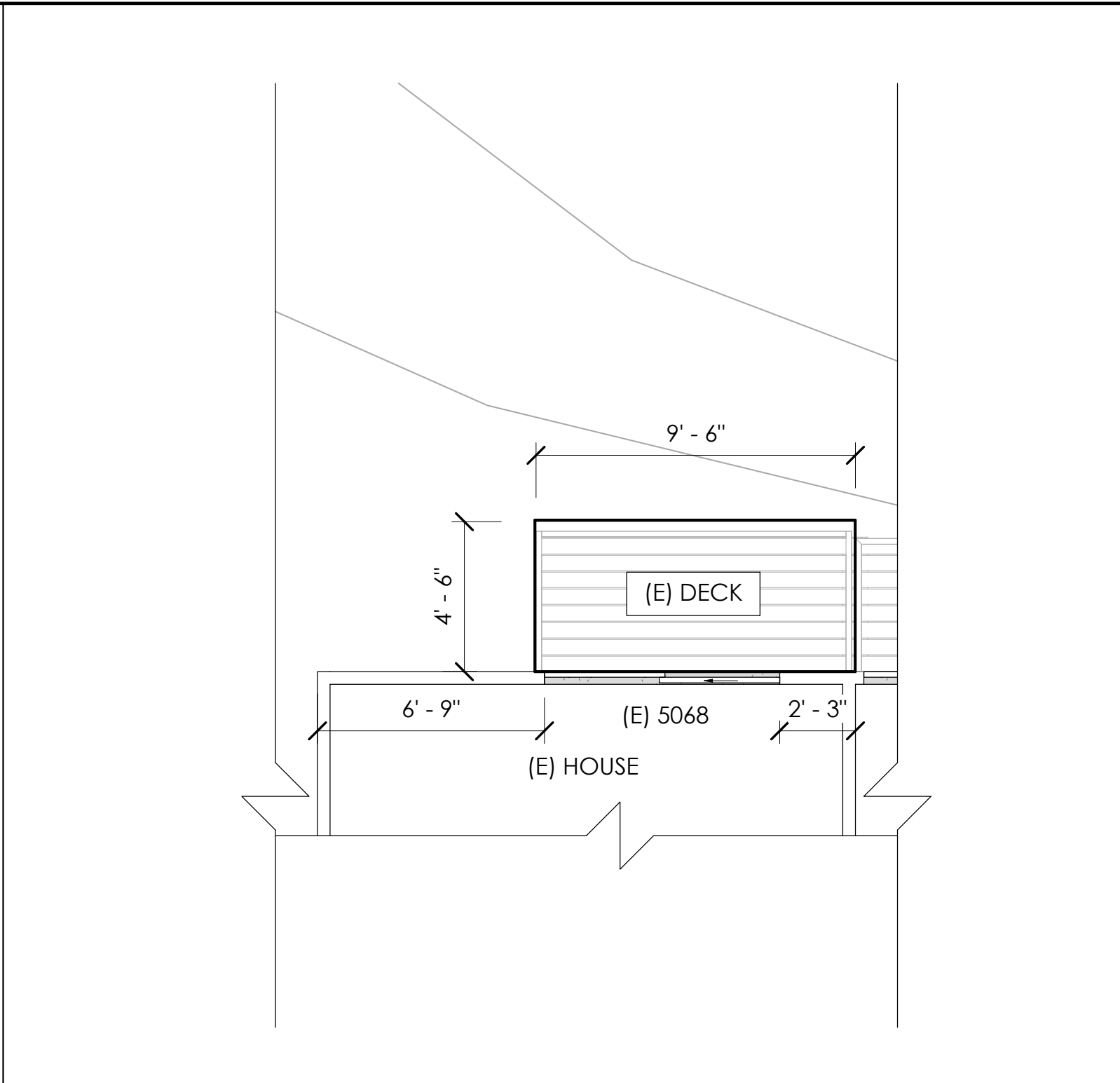
(N) PROPOSED SITE PLAN

1/16" = 1' - 0"

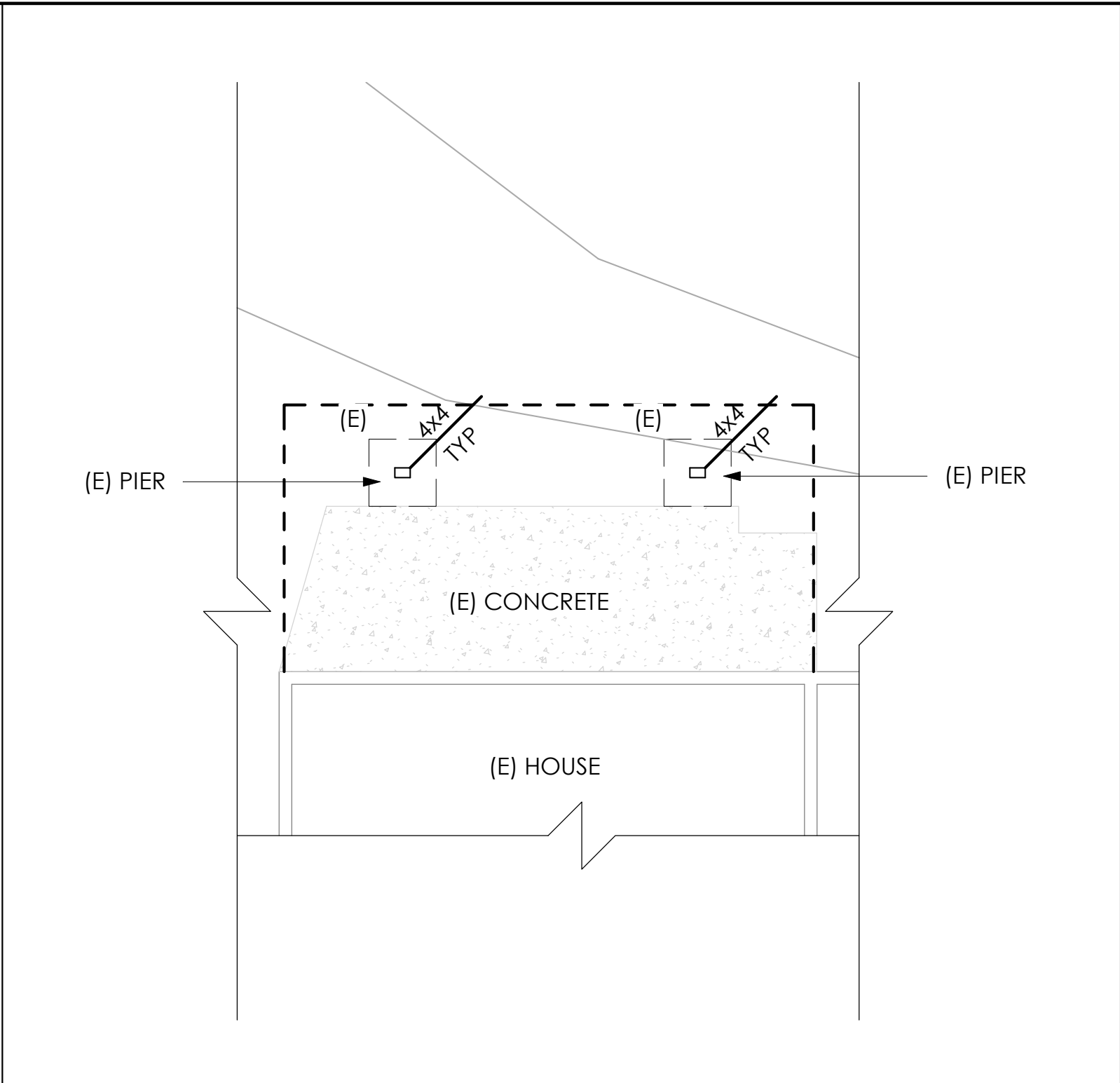




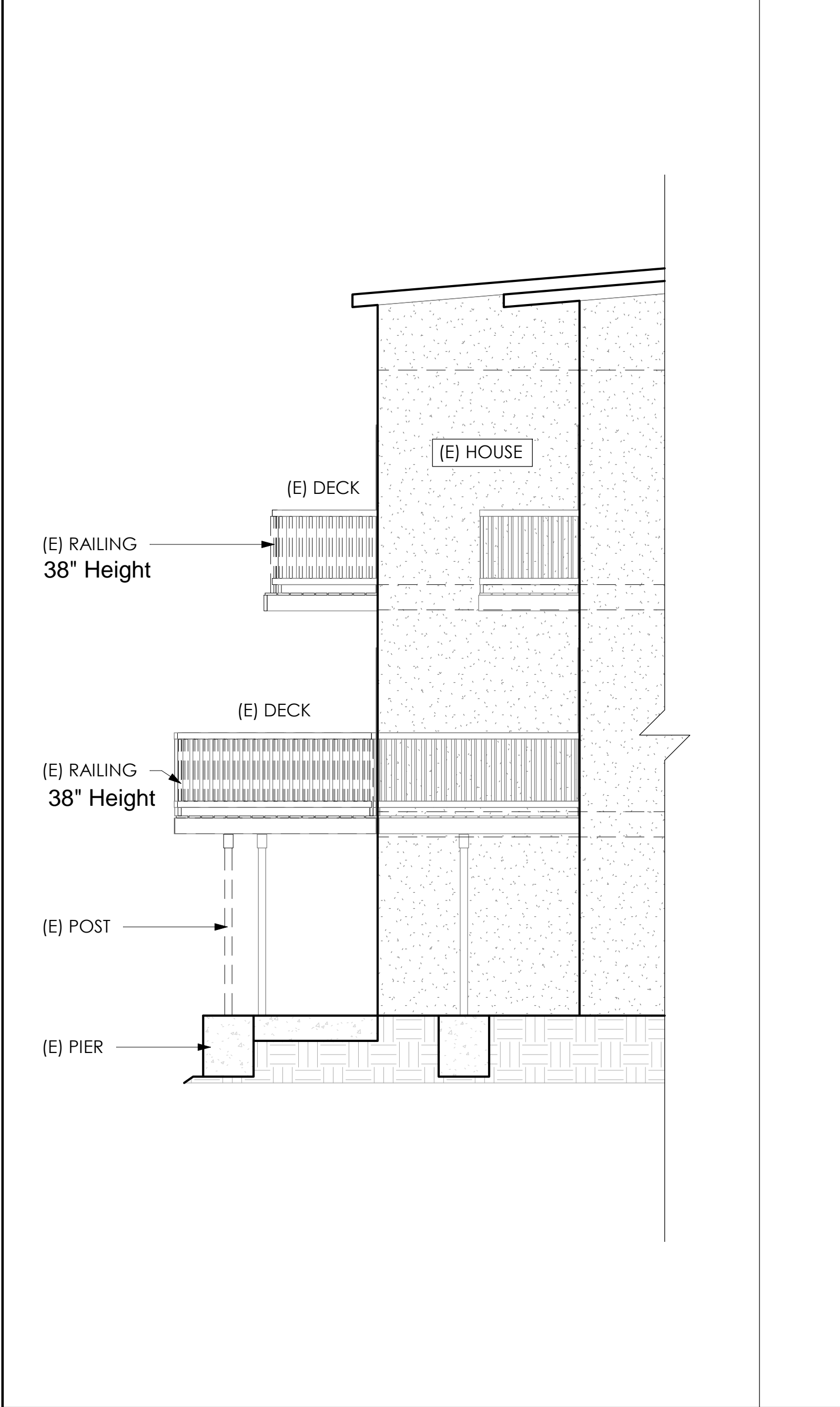
(E) DECK FIRST FLOOR 1/4" = 1' - 0"



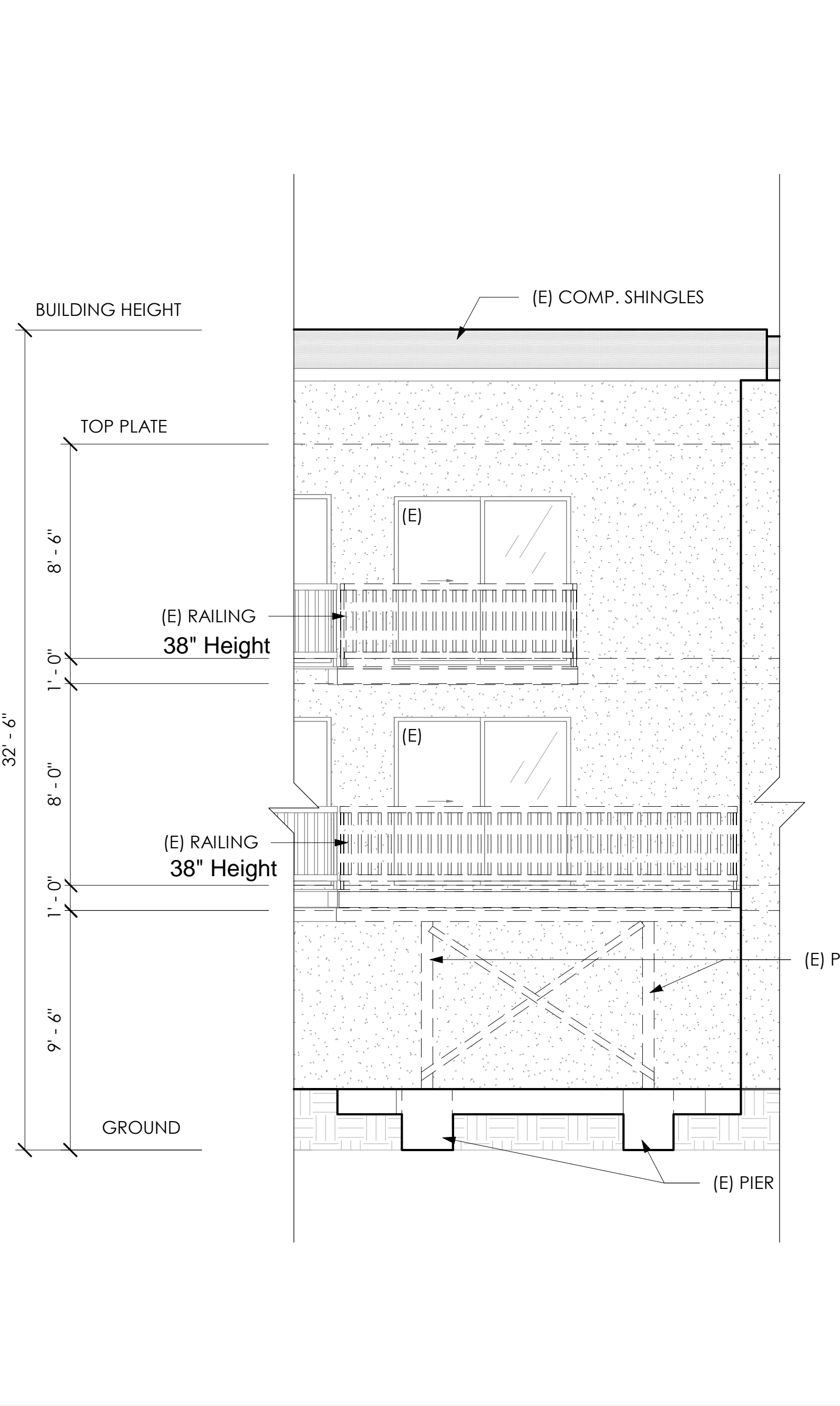
(E) DECK SECOND FLOOR 1/4" = 1' - 0"



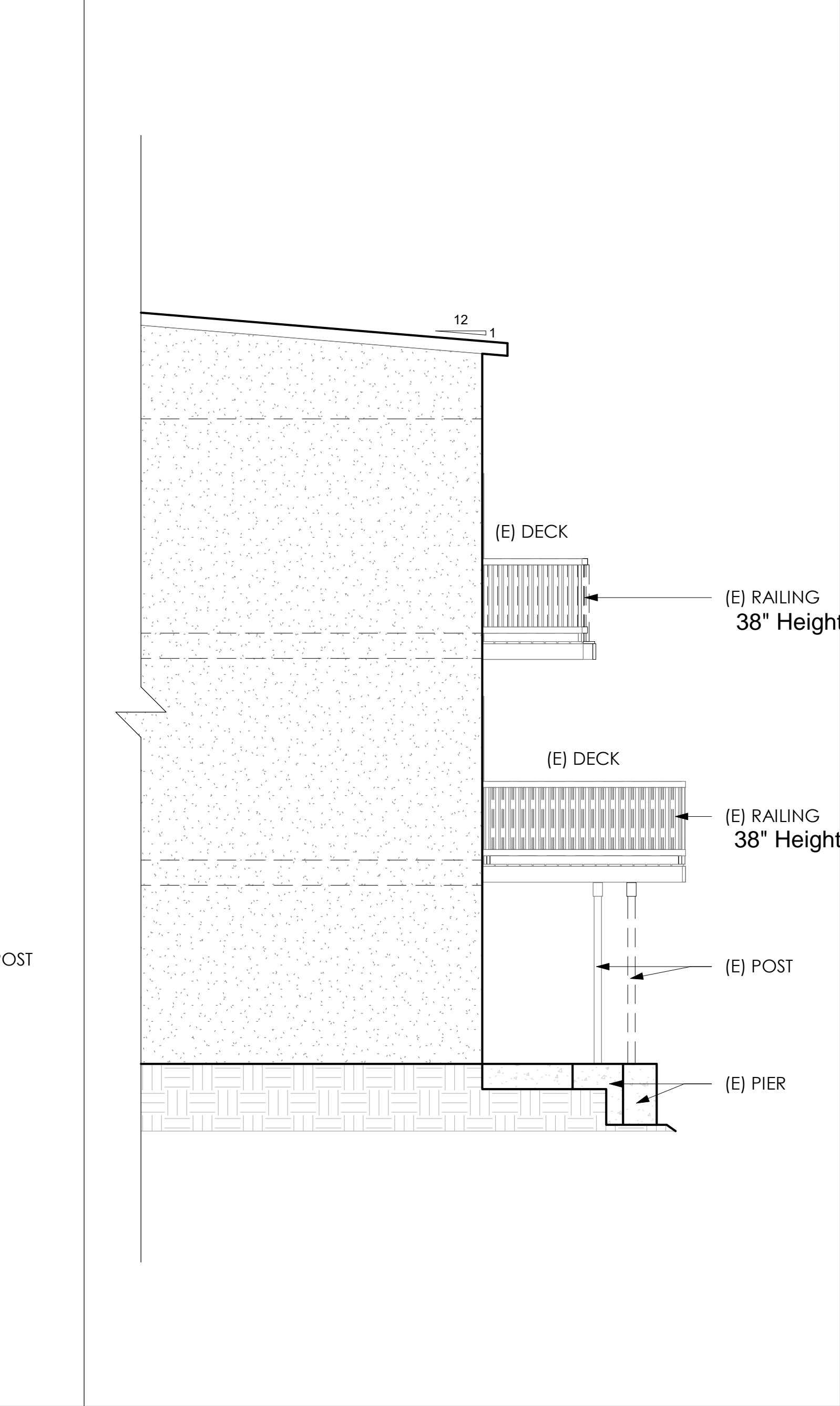
(E) CRAWL SPACE 1/4" = 1' - 0"



(E) LEFT ELEVATION 1/4" = 1' - 0"



(E) REAR ELEVATION 1/4" = 1' - 0"



(E) RIGHT ELEVATION 1/4" = 1' - 0"

DEMO NOTES:

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE

2. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR

3. REMOVE ONLY NON-LOAD BEARING CONSTRICTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.

4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE. MINIMUM DESIGN LOAD VALUES SHALL BE AS FOLLOWS:

100 P.S.F. LIVE LOAD (FIRST FLOOR)

10 P.S.F. LIVE LOAD (ROOF)

20 P.S.F. DEAD LOAD (FLOORS/ROOF)

MAXIMUM ALLOWABLE DEFLECTION @ L/360 OF SPAN

5. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER

6. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.

BAY AREA DESIGN CONSULTANTS

DANIEL L. DELRIO
SAN LEANDRO, 94578
510.701.0100 Tel

BAD CONSULTANTS 2020

NO.	DESCRIPTION	DATE
1		
2		
3		

THESE DRAWINGS ARE DRAWN BY BAY AREA DESIGN AND ARE APPROVED BY THE RESPONSIBILITY OF DANIEL L. DELRIO AND THE SIGATURE BELOW IS EXCEPTION OF PROPOSED SET OF DRAWINGS

x *[Signature]*

PROJECT: DECK PROPOSAL

5029 SAN PABLO DAM RD, EL SOBRANTE, CA 94803

SHEET TITLE: (E) PLAN/ DEMO PLAN/ ELEVATIONS

PROJECT: SNP-22

DESIGNER: D.D.

DRAWN BY: J.B.

CHECKED BY: D.D.

JOB NO: 80-22

REVISION:

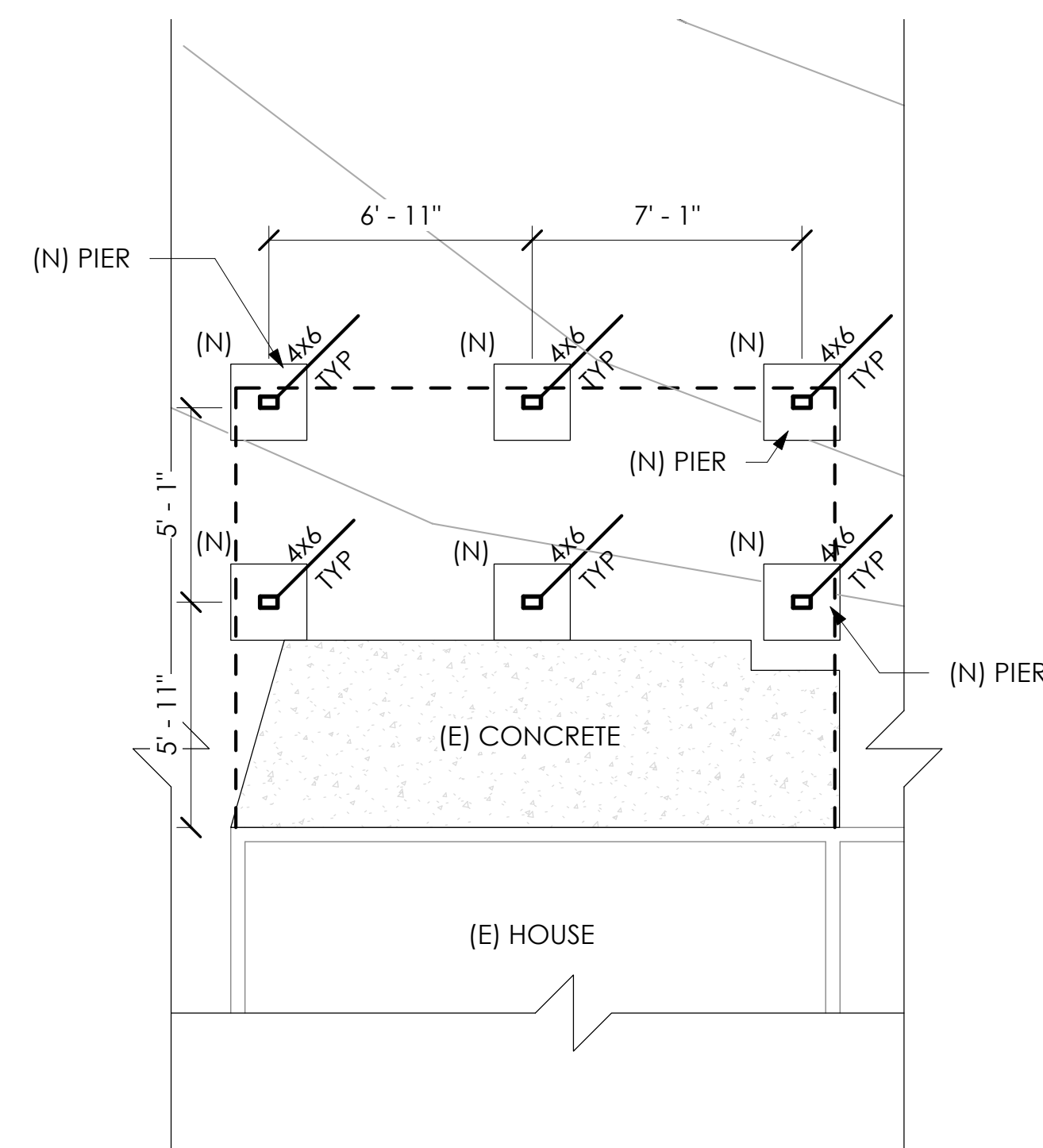
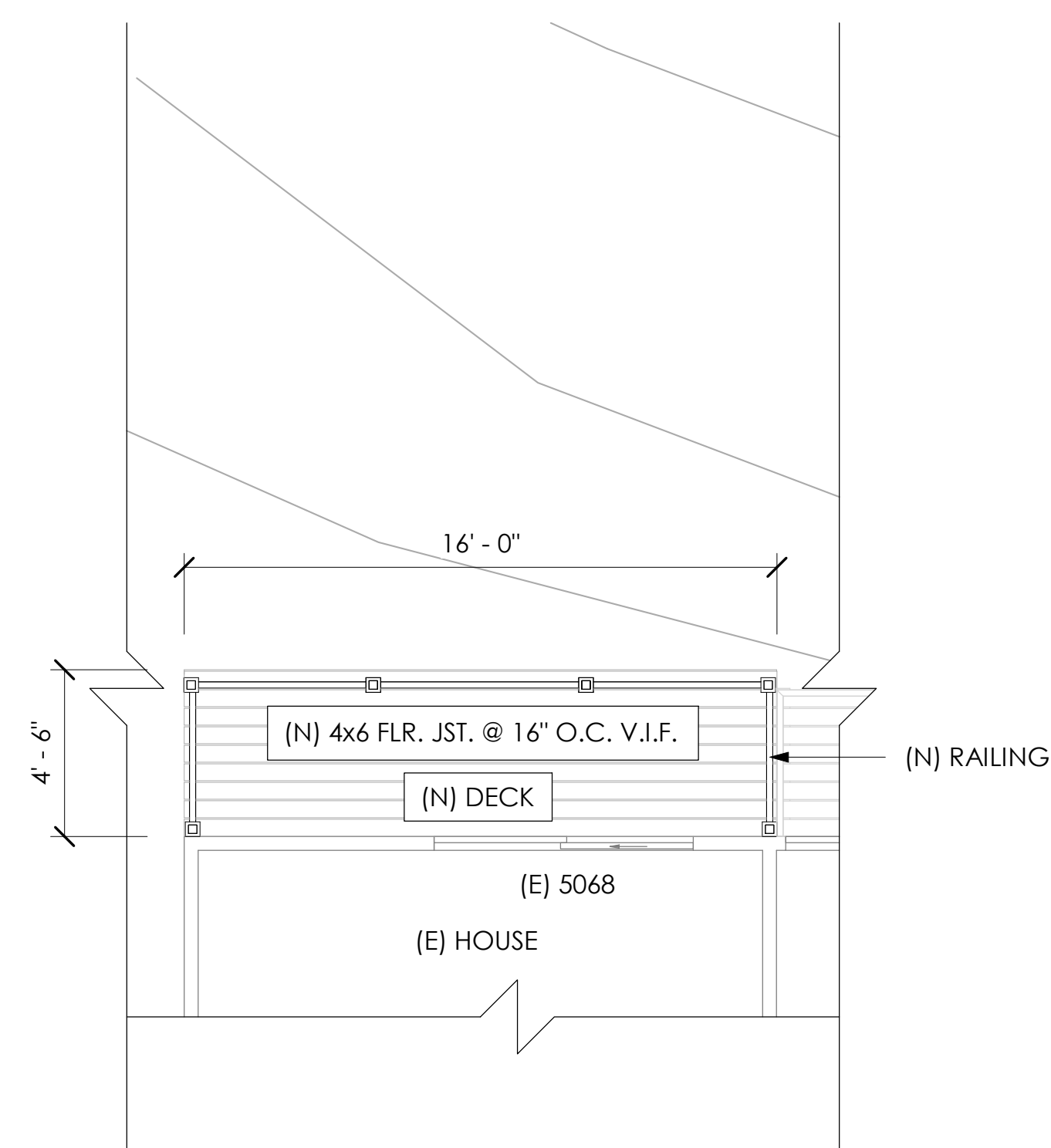
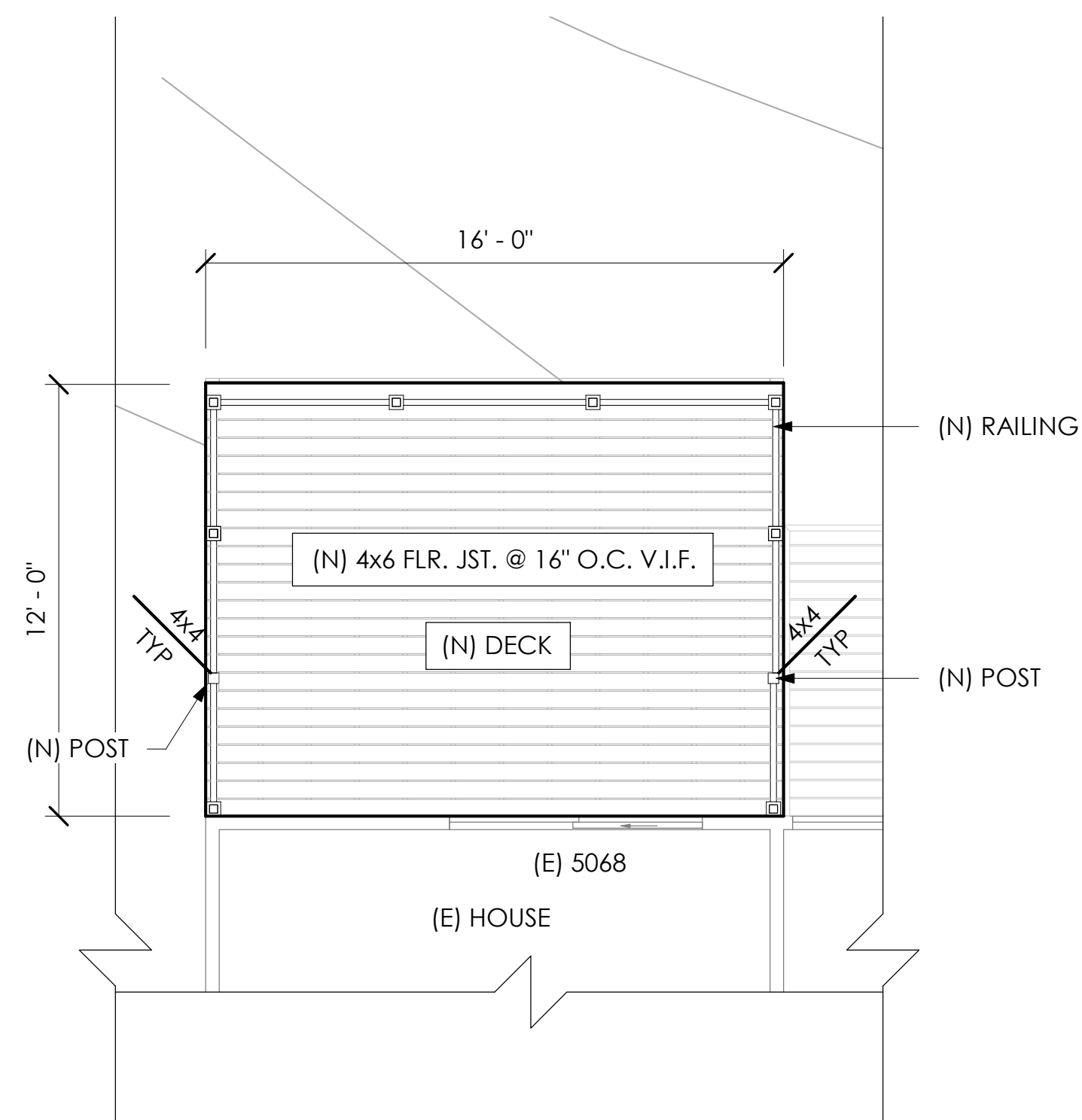
DATE: 10/18/22

SCALE: NOTED

SHEET NO. A1

4 OF 5 SHEET

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- ELEVATION NOTES:

1. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. [CBC 1402]
2. PROVIDE MOIST OR FLASHING AROUND ALL NEW WINDOWS, DOORS AND OTHERS OPENINGS. [R703.4 IRC]
3. PROVIDE BITUTHENE AT LOCATIONS SUCH AS INTERSECTING EXTERIOR CONSTRUCTIONS SERVICES, SMALLER EXTERIOR SHELVES AND AT EXTERIOR PENETRATIONS. [R406.1IRC]
4. EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH AS MANNER AS TO MAKE THEM WEATHERPROOF [CBC 1402]
5. PROVIDE METAL FLASHINGS AND COUNTER FLASHING NECESSARY AND CUSTOMARY TO COMPLETE THE WATER AND MOISTURE PROOF ROOFING ASSEMBLY. FLASHING SHALL BE A MIN. 26 GA. G.I. PAINTED TO MATCH ADJACENT TILE AND OR WALL COLOR INSTALL ALL FLASHINGS PER CHAPTER 15, 2001 CBC AND NATIONAL ROOFING CONTRACTOR'S (N.R.C.A.) RECOMMENDATIONS FOR RESIDENTIAL APPLICATIONS.
6. PROVIDE 26 GA. G.I. FLASHING AND COUNTER FLASHING AT ROOF TO WALL CONDITIONS. INSTALL PER ROOF MANUFACTURER'S SPECS. [CBC1509]
7. ALL ROOFING TILES, FLASHINGS, VENTS AND ROOFING INSTALLATION SHALL CONFORM TO 2001 CBC AND LOCAL STANDARDS.
8. PROVIDE FOR A 4" OR 2" CLARENCE FROM WEEP SCREED TO GRADE OR PAVED SURFACE RESPECTIVELY. [R703.7.2.1 IRC]
9. PROVIDE SPLASH PANS TO PROTECT ROOFS WHERE CONCENTRATED RUNOFF DESCENDS TO LOWER ROOFS. [R905.3.8 IRC]
10. CONTRACTOR SHALL USE FIELD APPLIED JUDGEMENT IN LOCATING FLASHING, CRICKETS, DIVERTERS, ETC., TO FINISH A COMPLETE AND CORRECT ROOFING INSTALLATION. [R903.1 IRC]
11. AT ALL EXTERIOR PLYWOOD SHEAR WALLS, PROVIDE 2-PLY, GRADE "D" (TOTALING) 60 MIN. BUILDING PAPER OVER PLYWOOD SHEAR WALLS AS NOTED ON FRAMING PLAN [4.3.7. IRC]

BAY AREA DESIGN
CONSULTANTS

SAN LEANDRO, 94578
510.701.0100 Tel

D CONSULTANTS 2020

NO.	DESCRIPTION	DATE
1		
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THESE DRAWINGS ARE
DRAWN BY BAY AREA
DESIGN AND ARE
APPROVED BY THE
RESPONSIBILITY OF
DANIEL L. DELRIO
AND THE SIGNATURE
ELOW IS EXCEPTION OF
PROPOSED SET OF
DRAWINGS

x 212 del.

DECK PROPOSAL

BUZZY SAINT PABLO DAM RD., EL SUBRANIE, CA 94803

PROJECT:

PROPOSED FLOOR PLAN/ ELEVATIONS

WIT FILE SNP-22	JOB NO. 80-22
SIGNER D.D.	REVISION
DRAWN BY J.B.	DATE 10/18/22
CHECKED BY D.D.	SCALE NOTED

SHEET NO.

A1.1

5 OF 5 SHEET